

Extract for Planned Development

Journal of the Proceedings of the City Council of the City of Chicago, Illinois

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Related documentation pertaining to this Planned Development may also be included.

6/4/2003

REPORTS OF COMMITTEES

13892

2877

*Reclassification Of Area Shown On Map Number 15-I.
(Application Number 13981)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B4-2 Restricted Service District symbols and indications as shown on Map Number 15-I in the area bounded by:

a line from a point 110.59 feet southwesterly of the intersection of North Virginia Avenue and North Lincoln Avenue, as recorded along the west line of North Lincoln Avenue to a point 210.59 feet southwesterly of said intersection; the public alley next westerly and parallel to North Lincoln Avenue; and North Lincoln Avenue,

to those of a B4-3 Restricted Service District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map Number 16-G.
(As Amended)*

(Application Number 13892) *RPD 870,99*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R4 General Residence District symbols and indications as shown on Map Number 16-G in the area bounded by:

West 70th Street; South Aberdeen Street; a line 231.09 feet south of and parallel to West 70th Street; the alley next west of and parallel to South Aberdeen Street; a line 257.20 feet south of and parallel to West 70th Street; and South May Street,

to those of an R5 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be further amended by changing all the R5 General Residence District symbols and indications in the area bounded by:

West 70th Street; South Aberdeen Street; a line 231.09 feet south of and parallel to West 70th Street; the alley next west of and parallel to South Aberdeen Street; a line 257.20 feet south of and parallel to West 70th Street; and South May Street,

to the designation of a Residential Planned Development and corresponding use districts are hereby established in the area above described, subject to the use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential Planned Development Number 870.

Plan Of Development Statements.

1. The area delineated herein as Residential Planned Development Number 870 (the "Planned Development") consists of approximately sixty-four thousand five hundred eight-three (64,583) net square feet (approximately one and forty-eight hundredths (1.48) acres) of real property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property"), and is owned or controlled by the Applicant, Catholic Charities Housing Development Corporation, an Illinois not-for-profit corporation ("Applicant").
2. All applicable official reviews, approvals or permits required in connection with this Planned Development shall be obtained by the Applicant, its successors, assignees or grantees. Any dedication or vacation of streets and alleys, or easements or adjustments of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant, its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors.

Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by Applicant. However, nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interest or obligations therein.

4. This Plan of Development consists of sixteen (16) statements; a Bulk Regulations and Data Table; a Planned Development Boundary and Property Line Map; an Existing Land-Use Area Map; an Existing Zoning Map; a Site Plan; a Landscape Plan with Landscaping Plan Details; and Elevation: South May Street, Elevation: West 70th Street, Elevation: Rear Side of Building 1 and Elevation: South Side of Building 1. Full-size copies of the Site Plan, Landscape Plan, Elevation: South May Street, Elevation: West 70th Street, Elevation: Rear Side of Building 1, and Elevation: South Side of Building 1 are on file with the Department of Planning and Development. The Planned Development is applicable to the area delineated herein and these and no other controls shall apply. The Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The following uses shall be permitted in this Planned Development: housing and senior housing, including but not limited to, single room occupancy units and buildings, housing for elderly persons, assisted living and independent living, affordable housing, transitional residences, transitional shelters, temporary overnight shelters, daycare centers (adult and child), schools, family community home, group community home, supportive family housing, community center, senior center, recreation facilities, social service programs, limited accessory retail and commercial (including barber/beauty, sundries, banking, nutrition center and food service for campus residents and for community center programs)

commercial kitchen, parking, and accessory uses.

6. Identification and other necessary signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs such as construction and marketing signs shall be permitted.
7. Off-street parking and loading facilities shall be in compliance with this Planned Development, subject to the review and approval of the Departments of Transportation and Planning and Development. A minimum of two percent (2%) of all parking spaces shall be accessible parking.
8. Any service drive or any other means of ingress or egress, including for emergency vehicles, shall be adequately designed and paved in accordance with the provisions of the Municipal Code and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking within such paved areas or within fire lanes. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.
9. In addition to the maximum height of the proposed buildings or any appurtenance thereto, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
10. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions of the Chicago Zoning Ordinance shall apply. In addition to the other exclusions from Floor Area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area in excess of five thousand (5,000) square feet devoted to mechanical equipment in a single location, regardless of placement in the building, and all trash rooms, shall be excluded.
11. The improvements on the Property, including the on-site exterior landscaping and the landscaping along the adjacent rights-of-way, and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan, the Elevation: South May Street, Elevation: West 70th Street, Elevation: Rear Side of Building 1, and Elevation: South Side of Building 1, and the Bulk Regulations and Data Table. In addition, parkway trees shall be installed, as necessary, and maintained in accordance with the parkway tree planting provisions of the Chicago

Zoning Ordinance and corresponding regulations and guidelines.

Also, consistent with the City's policy of promoting green roofs as a means of reducing the urban heat island effect and storm water run-off, the Applicant for Part II approval under this Planned Development agrees to:

- A. Install a green roof system, reasonably approved by the Department of Planning and Development at the time of Part II approval (but in no event to exceed one thousand eight hundred (1,800) square feet), on the Three (3) story residential building to be constructed in Subarea 1 immediately north of and adjacent to the existing convent ("Three (3) Story Building") -- as further depicted and defined on the Site Plan, revised May 15, 2003 -- within one (1) year after receiving a certificate of occupancy for the Three (3) Story Building. In addition, the Applicant for Part II approval of Subarea 2, also agrees to install a green roof system in Subarea 2, reasonably approved by the Department of Planning and Development at the time of Part II approval for Subarea 2, which green roof shall not exceed one thousand eight hundred (1,800) square feet. The location of the green roof shall be determined by the Applicant and the Department of Planning and Development.
- B. Provide the Department of Planning and Development with an affidavit from a structural engineer that the Three (3) Story Building will support the weight load of a green roof at the time of Part II approval. In addition, a similar affidavit from a structural engineer will also be provided in connection with the green roof for Subarea 2 (at the time of Part II approval for Subarea 2).
- C. Construct roofs for the new buildings in Subareas 1 and 2 which meet the City's then-applicable energy code standards for reflectivity and emissivity. The foregoing requirement shall only apply to those portions of the new roofs not covered by a green roof system.

Items A and B above are subject to: (a) approval of the green roof systems by all funding bodies (including, but not limited to, the Department of Housing); and (b) funds being made available by the funding bodies for the installation of the green roofs and any incremental structural construction costs resulting therefrom.

- 12. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner that promotes, enables and maximizes access throughout the property. Plans for all buildings

and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

13. Except for those plans which are approved and are referenced in Statement 4 above, prior to the issuance by the Department of Planning and Development of a determination pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance ("Part II approval") for development or redevelopment of any development parcels within the Planned Development, a site plan for the proposed development, including parking areas and street access, shall be submitted to the Commissioner of the Department of Planning and Development for approval. No Part II approval for work for which a site plan must be submitted to the Commissioner shall be granted until the site plan has been approved by the Commissioner.

Following approval of a site plan by the Commissioner, the approved plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this Planned Development. The approved site plan may be changed or modified pursuant to the minor change provisions of Section 11.11-3(c) of the Chicago Zoning Ordinance.

A site plan shall, at a minimum, provide the following information with respect to the proposed improvements:

- A. the boundaries of the Property;
- B. the footprint of the improvements;
- C. location and dimensions of all loading berths;
- D. preliminary landscaping plan prepared by a landscape architect with final landscaping plan to be approved at Part II stage;
- E. all pedestrian circulation routes;
- F. the location of any adjacent public improvements;
- G. preliminary elevations of the improvements; and

- H. statistical information applicable to the Property limited to the following:
- i. floor area and floor area ratio;
 - ii. uses to be established;
 - iii. building heights; and
 - iv. all setbacks, required and provided.

A site plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this Planned Development.

In addition, in connection with Site Plan Approval for the construction of ~~any building in Subarea 2 that would require the demolition of the~~ existing rectory (located in the southeast portion of Subarea 2), Applicant will give consideration to the reuse of the rectory. However, if it is deemed, in Applicant's discretion (after review by its project architect), that the reuse of the existing rectory is not compatible with its proposed development, then the rectory may be demolished.

14. The terms, conditions and exhibits of this Planned Development may be modified administratively, by the Commissioner of the Department of Planning and Development, upon the application for such modification by the Applicant and after a determination by the Commissioner of Planning and Development that such modification is minor in nature, appropriate, and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of the Planned Development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards

published by the American Society of Heating, Refrigeration and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.

16. Unless substantial construction of the development has commenced within six (6) years following adoption of the Planned Development and unless completion thereof is diligently pursued, then this Planned Development shall expire and the zoning of the property shall automatically revert to the pre-existing R4 zoning classification.

[Boundary and Property Line Map; Existing Land-Use Area Map and Existing Zoning Map; Site Plan; Landscape Plan; Landscape Plan Details; and Building Elevation Drawings referred to in these Plan of Development Statements printed on pages 2888 through 2895 of this *Journal*.]

Bulk Regulations and Date Table referred to in these Plan and Development Statements reads as follows:

Residential Planned Development Number 870.

Bulk Regulations And Data Table.

- | | |
|---------------------|---|
| 1. Gross Site Area: | 92,995 square feet; approximately 2.13 acres (Gross Site Area = Net Site Area + Area in Public Right-of-Way). |
| 2. Net Site Area: | 64,583 square feet; approximately 1.48 acres. |
| Subarea 1: | 35,983 square feet; approximately 0.83 acres. |
| Subarea 2: | 28,600 square feet; approximately 0.65 acres. |

3. Maximum Floor Area
Ratio:

Subarea 1:	1.55 F.A.R.
Subarea 2:	2.2 F.A.R. (resulting in a blended F.A.R. of 1.84).

4. Maximum Percentage of
Land Coverage for Buildings
(excluding Pavement and
other impervious Surfaces):

Subarea 1:	In accordance with the Site Plan.
Subarea 2:	55%.

5. Maximum Number of
Units:

Subarea 1:	105 Single-Room Occupancy units. In the event that a use other than Single-Room Occupancy is developed, maximum densities will be as follows: 90 efficiencies; or 70 1-bedroom units plus 1 manager's unit.
Subarea 2:	125 Single-Room Occupancy units. In the event that senior housing, family housing or other affordable housing is developed, maximum densities will be as follows (however, in no event shall market rate housing be allowed): 72 efficiencies; or 71 1-bedroom units; or 58 2-bedroom units.

**6. Minimum Number of
Off-Street Parking
Spaces:**

Subarea 1:

11 parking spaces.

Subarea 2:

For Single-Room Occupancy units, the number of parking spaces shall be equal to one space for every ten units (10%);

For senior housing, the number of parking spaces shall be equal to 31% of the number of units (except that for assisted living, the number of parking spaces shall be equal to 25% of the number of units);

For family housing or other affordable housing, the number of parking spaces shall be equal to 31% of the number of units.

**7. Minimum Number of
Off-Street Loading
Spaces:**

Subarea 1:

1 loading space.

Subarea 2:

1 loading space.

**8. Minimum Periphery
Setbacks (for Buildings):**

South May Street:

13 feet.

West 70th Street:

Setback for Subarea 1:

15 feet.

**Existing Building Setback
for Subarea 2:**

1 foot.

Setback for Proposed
New Construction
at Subarea 2: 15 feet.

South Aberdeen Street:

Existing Building Setback: 9 feet.

Setback for proposed
New Construction: 13 feet.

Southerly Periphery Set-
back for Subarea 1: 5 feet.

Southerly Periphery Set-
back for Subarea 2:

Existing Building Setback: 2 feet.

Setback for Proposed ,
New Construction: 15 feet.

9. Maximum Building Height:

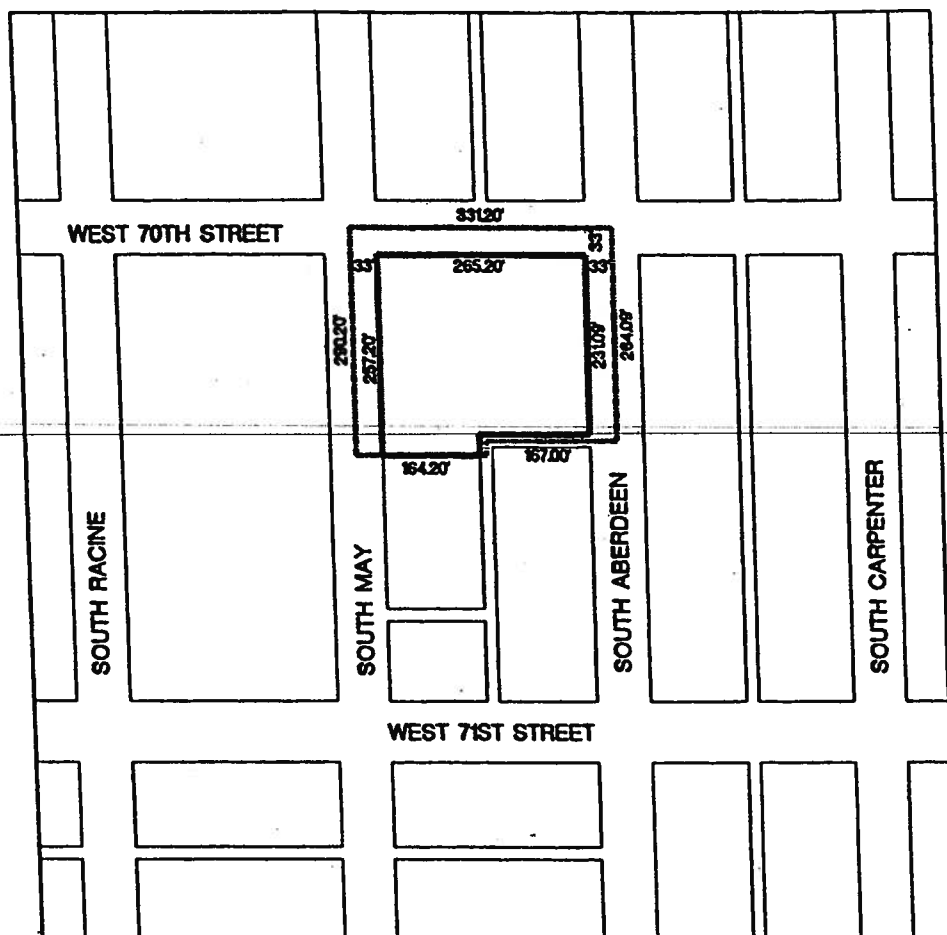
(Vertical distance from the curb level opposite the center of the front of the building to the highest point of the underside of the ceiling beams of the flat roof).

Subarea 1: 45 feet, 0 inches.

Subarea 2: 50 feet, 0 inches.

These regulations relate to the ultimate development within the planned development area. Interim stages of development may exceed these permitted standards subject to the approval of the Department of Planning and Development.

Boundary And Property Line Map.



LEGEND

———— PROPOSED PLANNED DEVELOPMENT BOUNDARY

———— PROPERTY LINE

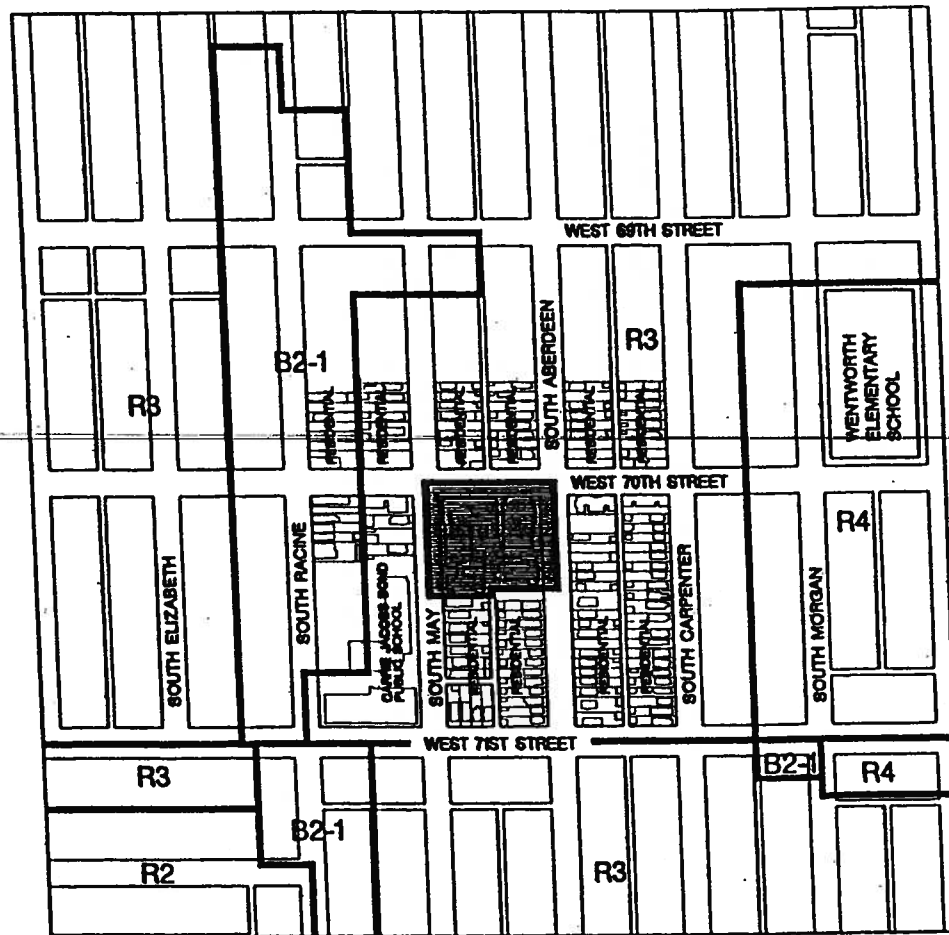


0 50' 100' 200'



SCALE: 1" = 200'-0"

Existing Land-Use Area Map And Existing Zoning Map.



LEGEND



PROPOSED PLANNED DEVELOPMENT

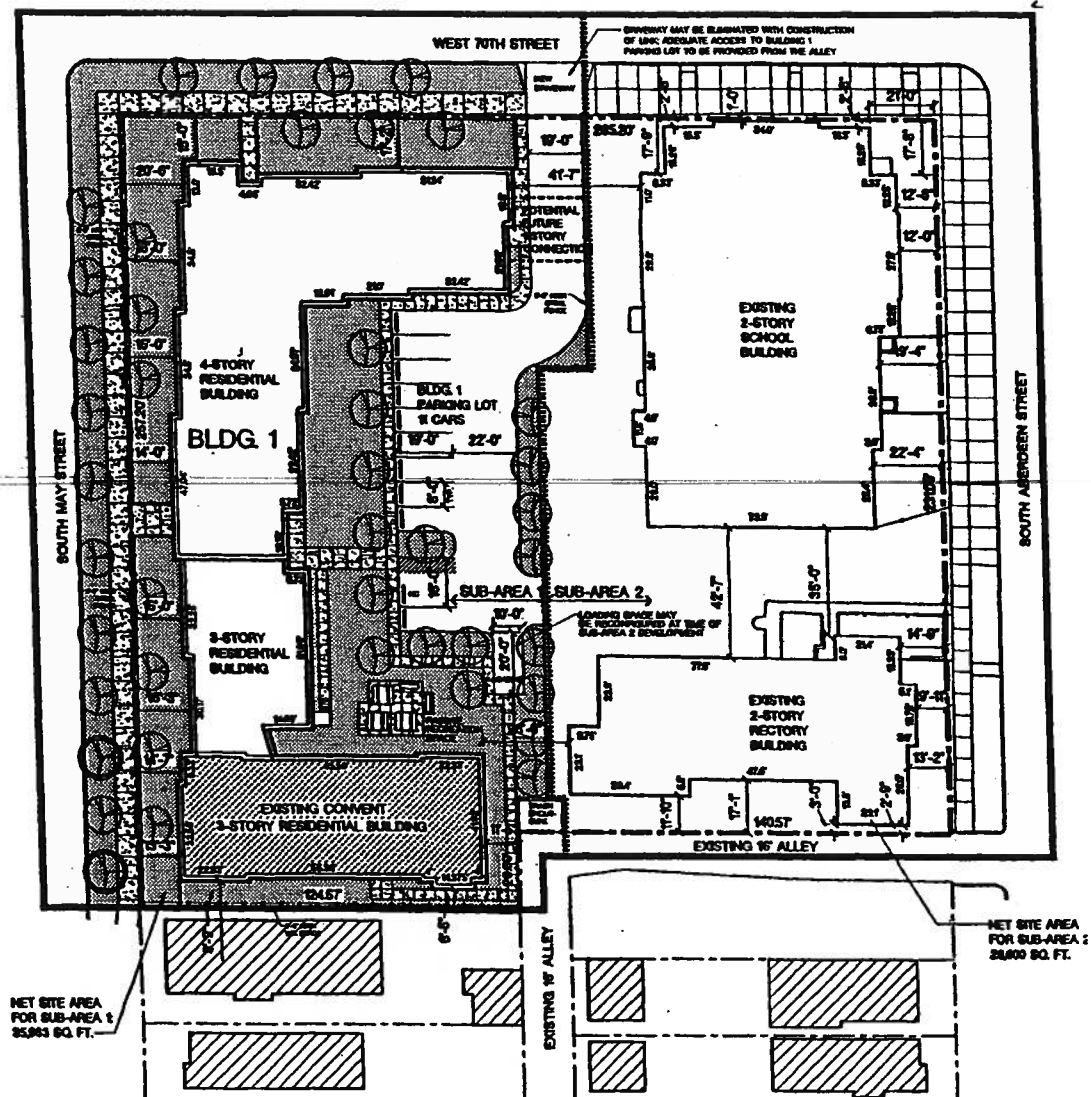


ZONING DISTRICT BOUNDARY



SCALE: 1" = 400'-0"

Site Plan.



LEGEND:

- PROPERTY LINE
- PLANNED DEVELOPMENT BOUNDARY
- DIVIDING LINE BTWN. SUB-AREA 1 & SUB-AREA 2
- EXISTING SIDEWALK
- NEW CONCRETE WALK
- NEW DECORATIVE METAL FENCE (5'-0" HIGH MAXIMUM)
- NEW OPAQUE WOOD FENCE
- EXISTING FENCE TO REMAIN
- NEW SOO ON 6" MIN. TOPSOIL

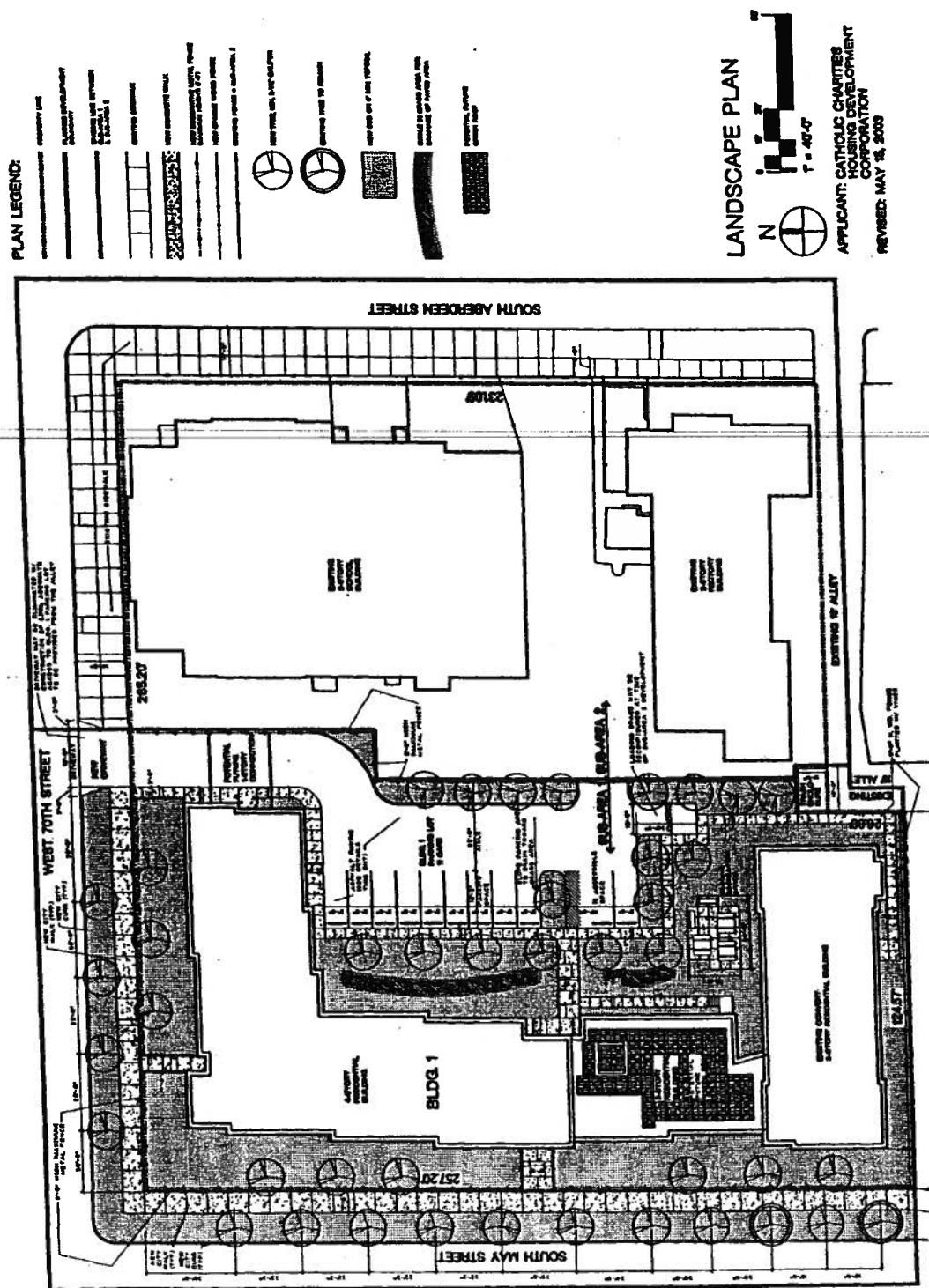
- EXISTING BUILDING TO REMAIN AS PART OF PLANNED DEVELOPMENT AND TO BE REMODELED
- EXISTING BUILDING TO REMAIN, NOT IN SCOPE OF WORK
- NEW TREE, MIN. 2-1/2" CALIPER
- EXISTING TREE TO REMAIN
- POTENTIAL FUTURE 1-STORY EXTENSION

APPLICANT: CATHOLIC CHARITIES HOUSING DEVELOPMENT CORPORATION
 REVISED: MAY 15, 2003

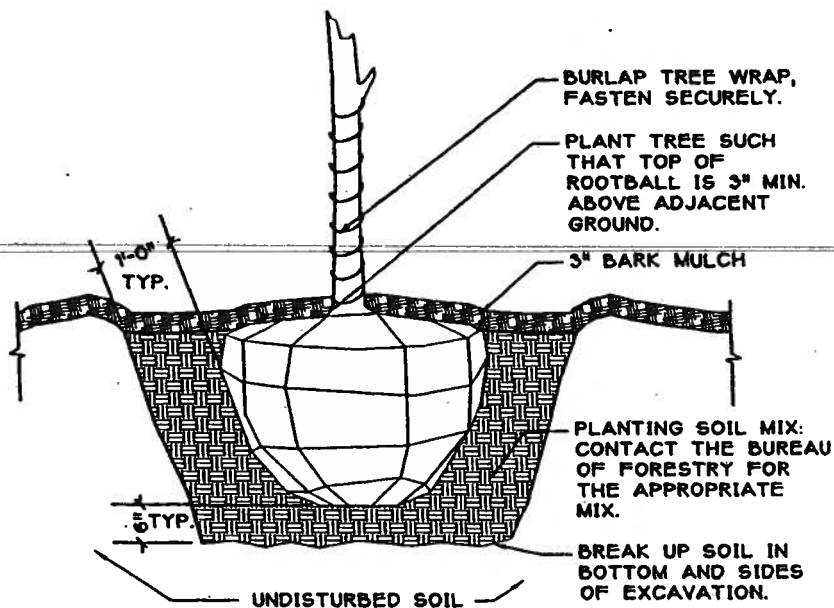


0 17 20 50
 SCALE: 1" = 50'-0"

Landscape Plan.



Landscaping Plan Details.
(Page 1 of 2)

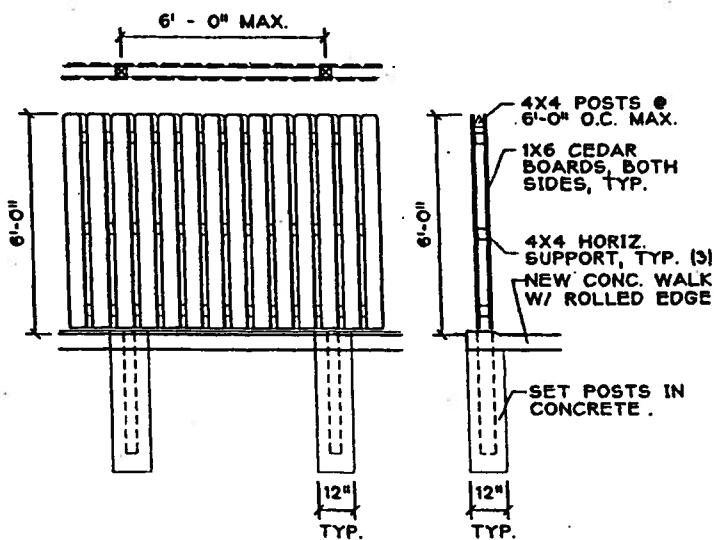


TYP. TREE PLANTING DETAIL

1/2" = 1'-0"

**LANDSCAPING PLAN
DETAILS**

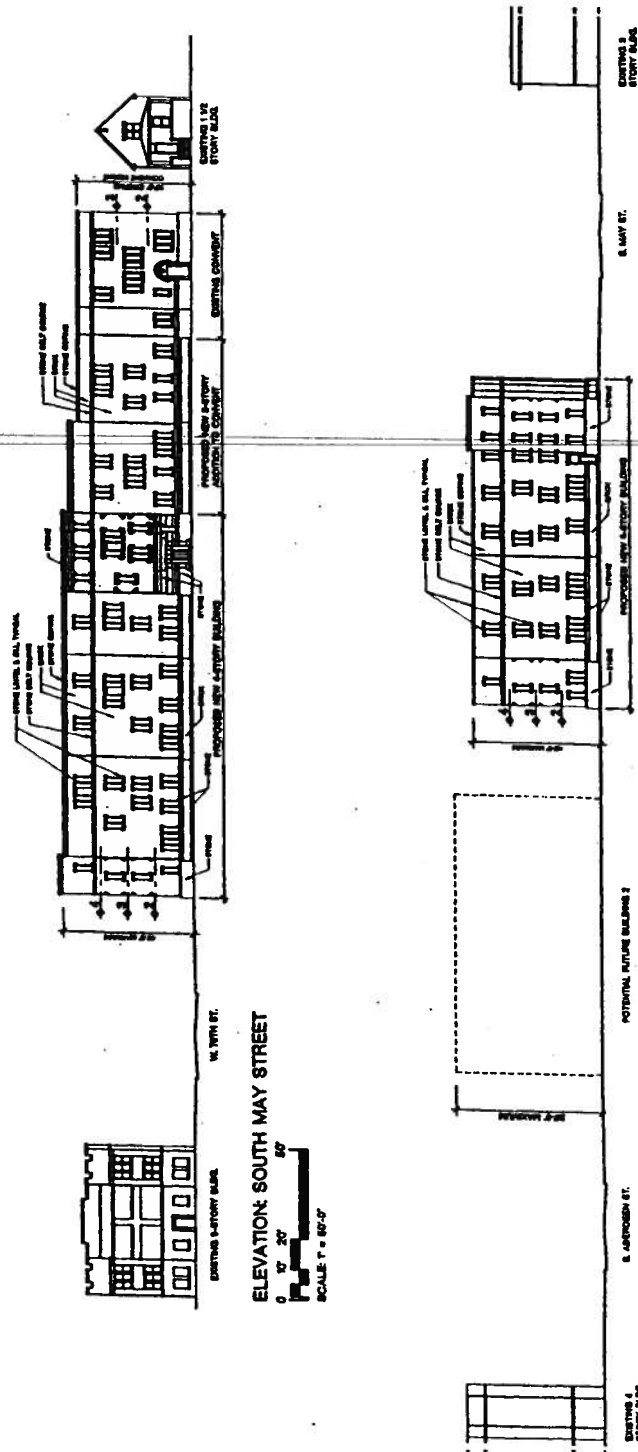
APPLICANT: CATHOLIC CHARITIES HOUSING DEVELOPMENT CORPORATION
REVISED: MAY 15, 2003

[illegible]
$$1/4^H \approx 1'-O^H$$


TYP. BOARD ON BOARD WD. FENCE

1/4" = 1'-0"

APPLICANT: CATHOLIC CHARITIES HOUSING DEVELOPMENT CORPORATION
REVISED: MAY 15, 2003

Building Elevations -- South May Street And West 70th Street.

APPLICANT: DAYTON/CLAY CHARITIES HOUSING DEVELOPMENT CORPORATION
 REVISION: MAY 15, 2003

Building Elevations -- Rear Side And South Side.

